

REPORT OF FACILITY CONDITION ASSESSMENT

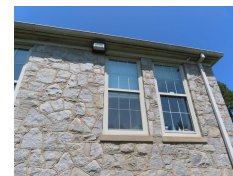
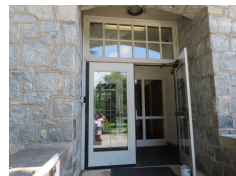


Davidson River School

Property Address:
970 Ecusta Road
Brevard, NC 28712

Prepared For:
Transylvania County
Board of Commissioners
101 South Broad Street
Brevard, NC 28712

Prepared By:
Axias
Project No. GA23-017
February 26, 2024



Item No.	Condition	Recommendation	Priority Category	Deficiency Category	Impact of Failure	Condition	Probability of Failure	Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required	
															Year	1	2	3	4	5	6	7	8	9	10		
2	The school has one 10,000-gallon underground storage tank which stores No. 2 fuel oil. The tank was reportedly installed in 1972 and reported to be a single wall type tank. Based on the age of the tank it is recommended to continue to monitor the condition of the tank through annual testing and active monitoring. An allowance for removal of the tank has been provided; however, the timing will be driven by monitoring and testing results.	Remove underground storage tank and install new above ground code/regulation compliant storage tank.	III	CR	4	3	4	4	15	Medium	30	3	1	ALLOW	\$155,000			\$155,000								\$155,000	
Fire & Life Safety																											
Required																											
1	A fire detection and alarm system is provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm control panel and as needed devices.	Upgrade the fire alarm control panel and as needed devices	III	CR	2	3	3	5	13	High	25	2	1	EA	\$15,000		\$15,000									\$15,000	
Conveyance Systems																											
Required																											
1	The building has no conveyance systems.	N/A																								\$0	

Deficiency	Definition
SM	Scheduled Maintenance
DM	Deferred Maintenance
CR	Capital Renewal
EN	Energy & Sustainability
CI	Capital Improvement

Priority	Definition
I	Currently Critical
II	Potentially Critical
III	Necessary / Not yet Critical
IV	Recommended
V	Appearance
VI	Does Not Meet Codes / Standards

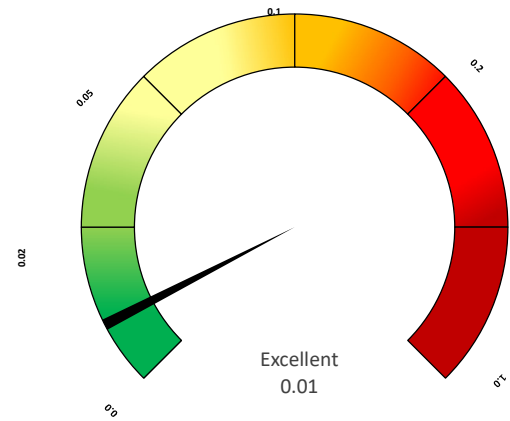
Risk	Definition
Critical	Critical (4-8)
High	High (9-13)
Medium	Medium (14-16)
Low	Low (17-20)

Required Cost (2023 US-Dollars)	\$42,250	\$298,754	\$164,280	\$0	\$1,456,640	\$0	\$90,000	\$121,800	\$0	\$0	\$2,173,724
Required Cost (Inflated @ 8% for 1st 3 years then 3% Per Yr.)	\$45,630	\$348,467	\$206,945	\$0	\$1,688,645	\$0	\$110,689	\$154,293	\$0	\$0	\$2,554,668
Total Cost (2023 \$/ SF/ Yr.)	\$2.32	\$16.41	\$9.02	\$0.00	\$80.00	\$0.00	\$4.94	\$6.69	\$0.00	\$0.00	\$119.38

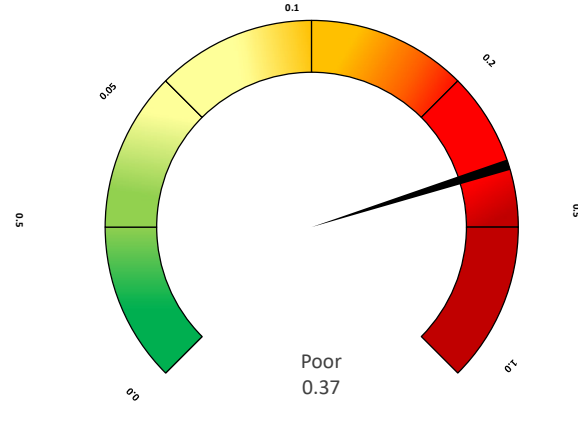


Financial Summary

Facility Condition Index



10 Year Facility Condition Index

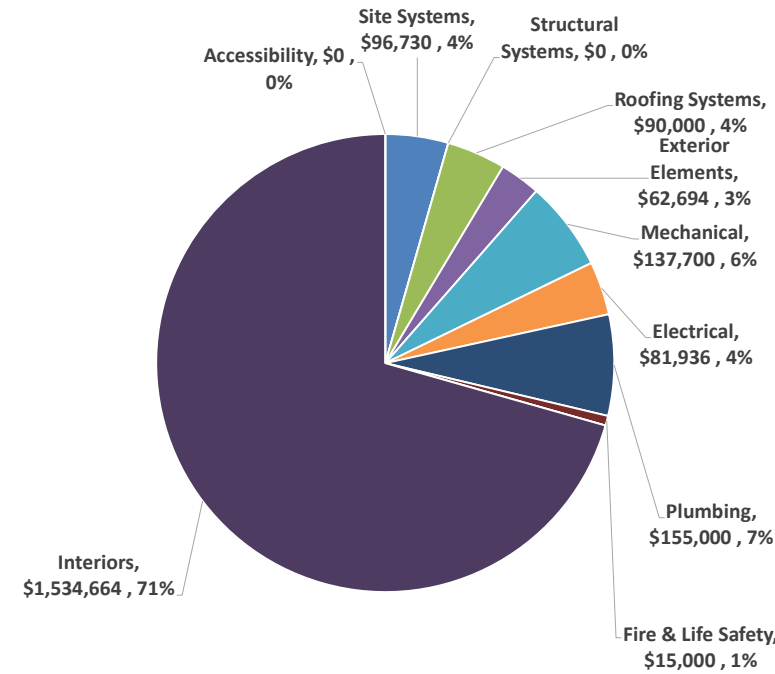


FCI Range	Condition Description
0.00 – 0.02	Excellent condition, typically new construction
0.02 – 0.05	Good Condition, renovations occur on schedule
0.05 – 0.1	Fair Condition, in need of normal renovation
0.1 – 0.2	Below average condition, major renovation required
0.2 – 0.5	Poor condition, total renovation needed
0.5 – 1	Complete facility replacement indicated

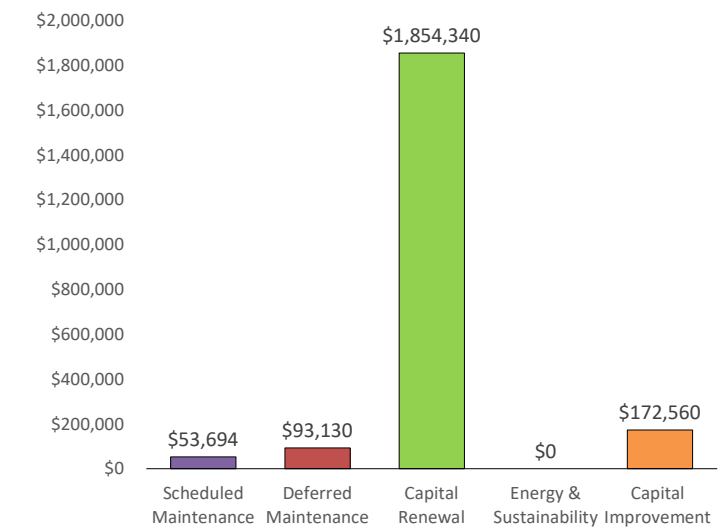
Risk	Definition
Critical	Critical (4-8)
High	High (9-13)
Medium	Medium (14-16)
Low	Low (17-20)

Priority	Definition
I	Currently Critical
II	Potentially Critical
III	Necessary / Not yet Critical
IV	Recommended
V	Appearance
VI	Does Not Meet Codes / Standards

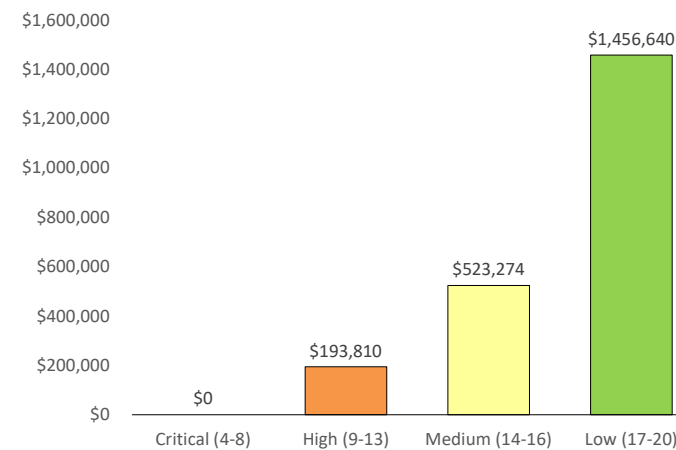
Summary by System



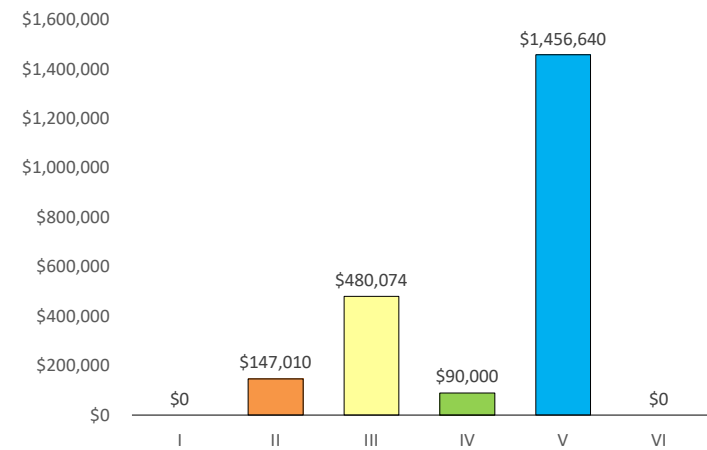
Expenditures by Deficiency Category



Expenditures by Risk



Expenditures by Priority Category



Representative Photos



Organic growth at asphalt shingles.



Exterior view of entrance ramp with guardrail.



Alligator cracking of asphalt parking lot.



Modular unit addition with stucco exterior.



Front view of signage and low retaining wall.



Architectural wood frame structure.



Stone face exterior and vinyl hung windows.



Damaged wood soffit under roof.



Stone faced walls and double pane aluminum and vinyl windows.



Corroded lintel at exterior windows.



Deteriorated VCT flooring in basement floor.



Split system air conditioning unit from 2013.