REPORT OF FACILITY CONDITION ASSESSMENT



Davidson River School

Property Address: 970 Ecusta Road Brevard, NC 28712

Prepared For:

Transylvania County Board of Commissioners 101 South Broad Street Brevard, NC 28712

Prepared By: Axias Project No. GA23-017 February 26, 2024



В U I	XIOS LDING VALUE																				Building: GSF: Age: Address:	1945 (78 970 Ecust	years) Add		ılar 2000 (23 yı	ears)
ltem No.	Condition	Recommendation	Priority Category	Deficiency Category Impact of	Condition	Probability of Failure	Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031		2032	2033	Required
Accessibility	y													Year	1	2	3	4	5	6	7	8		9	10	
Required	The main building was constructed before the implementation of the Americans with Disabilities Act (ADA). The modular and link were added after the implementation of the ADA Modifications have been made to achieve compliance where possible.																									\$0
Site System Required	ns																									
1		Mill and overlay asphalt paved sections due to surface deterioration	111	DM 4	2	3	5	14	Medium	30	2	1,400	SY	\$15		\$21,000										\$21,000
		Re-pave and restripe parking/ play area paint.	111	DM 4	2	3	5	14	Medium	30	3	4,640	SY	\$2.00			\$9,280									\$9,280
3		Replace exterior handrails and guardrails	Ш	DM 2	2	2	3	9	High	30	1	95	LF	\$110	\$10,450											\$10,450
4	The building has various external concrete sidewalks, a concrete landings at the back of the modular classrooms, and a low retaining wall at the front of the property. In various locations localized repairs are necessary.		111	DM 4	3	4	5	16	Medium	30	2	1	ALLOW	\$20,000		\$20,000										\$20,000
5	A physical security assessment was provided by Safe Havens International. As part of their assessment, they identified areas around the site where additional fencing should be provided. It is recommended to budget an allowance for the installation of additional perimeter fencing per the Physical Security Assessment. Cost is a placeholder and could fluctuate.	Install additional site fencing.	111	CI 3	3	4	4	14	Medium	15	2	400	LF	\$90.00		\$36,000										\$36,000
Structural S Required	Systems																									
1	The building structural systems appeared to be in good condition and should continued to be monitored.	No anticipated capital expenditures.																								\$0

BUIL	XIOS DING VALUE																				Building: GSF: Age: Address:	18208		dular 2000 (23 y	ears)
Item No.	Condition	Recommendation	Priority Category	Deficiency Category	Impact of Failure Condition	Probability of Failure	Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required
Roofing Syst	tems													Year	1	2	3	4	5	6	7	8	9	10	
1	useful life of 20 to 25 years it is recommended to budget for the replacement of the asphalt shingled roof in the mid to late term. Routine gutter maintenance and localized cleaning of shaded roof area as operational maintenance.	Replace asphalt shingle roof along with the gutters and downspouts.	IV	CR	4 4	4	4	16	Medium	20	7	15,000	SF	\$6.00							\$90,000	0			\$90,000
Exterior Eler Required	nents																								
1	Exterior elements of the original building consist of painted wood facias and soffits, with aluminum gutters and downpipes, and random stone faced walls. Openings are supported with steel lintels and fitted with vinyl and aluminum double pane windows, and aluminum and steel doors which are set in original wood frames, with original wood multi-pane single pane transoms above. The stonework is in fair condition. However, all aspects of exterior paintwork, including handrails to steps, and overhanding soffits at roof areas is in poor condition.	Repaint and repair all exterior painted elements.	III	SM	4 4	3	4	15	Medium	10	2	12,738	SF	\$3		\$38,214									\$38,214
2	The modular classrooms have a stucco exterior. This is in poor condition to the southwest elevation. We noted deterioration and hollow sections along the walls.	Remove damaged stucco and replace.		DM	4 4	3	4	15	Medium	30	2	600	SF	\$15		\$9,000									\$9,000
3	Junctions between materials at the main building, such as at the permitter of windows and doors, are weather sealed	Remove aged and defective sealant joints and replace. Coordinate with painting project.		SM	4 4	3	4	15	Medium	10	2	1,548	LF	\$10		\$15,480									\$15,480
Interiors Required																									
1		Allowance for renewal of interior finishes.	v	CR	5 3	5	5	18	Low	15	5	18,208	SF	\$80.00					\$1,456,640						\$1,456,640
2	rooms is lifting and warped due to moisture in the floor slab.	Excavate external perimeter of affected rooms and install French drain.	ш	DM	4 2	1	5	12	High	50	1	120	LF	\$150	\$18,000										\$18,000
3	In the basement, floors are generally finished with VCT. The VCT in two corner rooms is lifting and warped due to moisture in the floor slab.	Replace VCT flooring following water remediation work.	ш	DM	4 2	1	5	12	High	50	1	108	SY	\$50	\$5,400										\$5,400

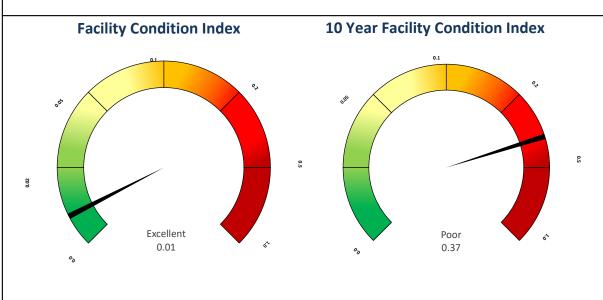
BUI	LDING VALUE																			Building: GSF: Age: Address:	Davidson R 18208 1945 (78 years 970 Ecusta Rd Brevard, NC 28) Addition/mod	ular 2000 (23 ye	ears)
Item No.	Condition	Recommendation	Priority Category	Deficiency Category	Impact of Failure Condition	Probability of Failure	Frequency of Failure	Risk Category	Estimated	Useful Life Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required
4		istruct vestibules per Physical urity Assessment.	11	CI	3 3	3	3 1	2 Hig	h	2	18,208	SF	Year \$3.00	1	2 \$54,624	3	4	5	6	7	8	9	10	\$54,624
Mechanical Required																								
1	A 3-ton ton York split system air conditioning unit manufactured in 2002/03 serves the corridor between original building and modular classrooms. The unit appeared to be in poor condition and has reached the end of its service life	place 3-ton split system unit.		CR	3 3	3	4 1	3 Hig	h 2() 1	3	TON	\$2,800	\$8,400										\$8,400
2	recommended to replace the VIAC Unit with	place VTAC unit with mini split tem.	111	CR	3 3	4	4 1	4 <mark>Medi</mark>	um 2() 2	1	EA	\$7,500		\$7,500									\$7,500
3	The main building is provided with multiple Carrier split system cooling systems, ranging from 4 ton to 10 ton systems, all dating from 2013. All systems are in fair condition for age. It is recommended to budget for the replacement Carrier split systems during the study period.	olace split system Carrier units.	Ш	CR	3 3	4	4 1	4 Medi	um 2() 8	29	Ton	\$4,200								\$121,800			\$121,800
Electrical Required																								
1	The building electrical systems appeared to be in fair condition and should remain operational throughout the term.	anticipated capital expenditures.																						\$0
2		owance to improve school security tems and school safety.	Ш	CI	2 3	3	4 1	2 Hig	h 2() 2	18,208	SF	\$4.50		\$81,936									\$81,936
Plumbing Required																								
1	The building plumbing systems appeared to be in fair condition and should remain operational throughout the term with ongoing preventative maintenance and replacements performed as needed by inhouse maintenance personnel.	anticipated capital expenditures.																						\$0

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Item No.	Condition	Recommendation	Priority Category	Deficiency Category	Failure	Condition Probability of	Failure Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required
2	The school has one 10,000-gallon underground storage tank which stores No. 2 fuel oil. The tank was reportedly installed in 1972 and reported to be a single wall type tank. Based on the age of the tank it is recommended to continue to monitor the condition of the tank through annual testing and active monitoring. An allowance for removal of the tank has been provided; however, the timing will be driven by monitoring and testing results.	Remove underground storage tank and install new above ground	III	CR	4	3 4	4 4	15	Medium	n 30	3	1	ALLOW	Year \$155,000	1	2	3 \$155,000	4	5	6	7	8	9	10	\$155,000
Fire & Life S	Safety																								
1	A fire detection and alarm system is provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm control panel and as needed devices.	Upgrade the fire alarm control panel and as needed devices	111	CR	2	3	3 5	13	High	25	2	1	EA	\$15,000		\$15,000									\$15,000
Conveyance Required	2 Systems																								
	The building has no conveyance systems.	N/A																							\$0
Deficien SM DM CR	Scheduled Maintenance I Deferred Maintenance I Capital Renewal II	II Potentially Critical	Risk Critical High Medium		(4-8) -13) n (14-1	16)							(2023 L Requ (Inflated @ 8%	iired Cost US-Dollars) iired Cost for 1st 3 years then Per Yr.)	\$42,250 \$45,630	\$298,754 \$348,467	\$164,280 \$206,945	\$0 \$0	\$1,456,640 \$1,688,645		\$90,000 \$110,689		\$0 \$0	\$0 \$0	\$2,173,724 \$2,554,668
EN	Energy & Sustainability		Low	Low (1	7-20)									tal Cost \$/ SF/ Yr.)	\$2.32	\$16.41	\$9.02	\$0.00	\$80.00	\$0.00	\$4.94	\$6.69	\$0.00	\$0.00	\$119.38





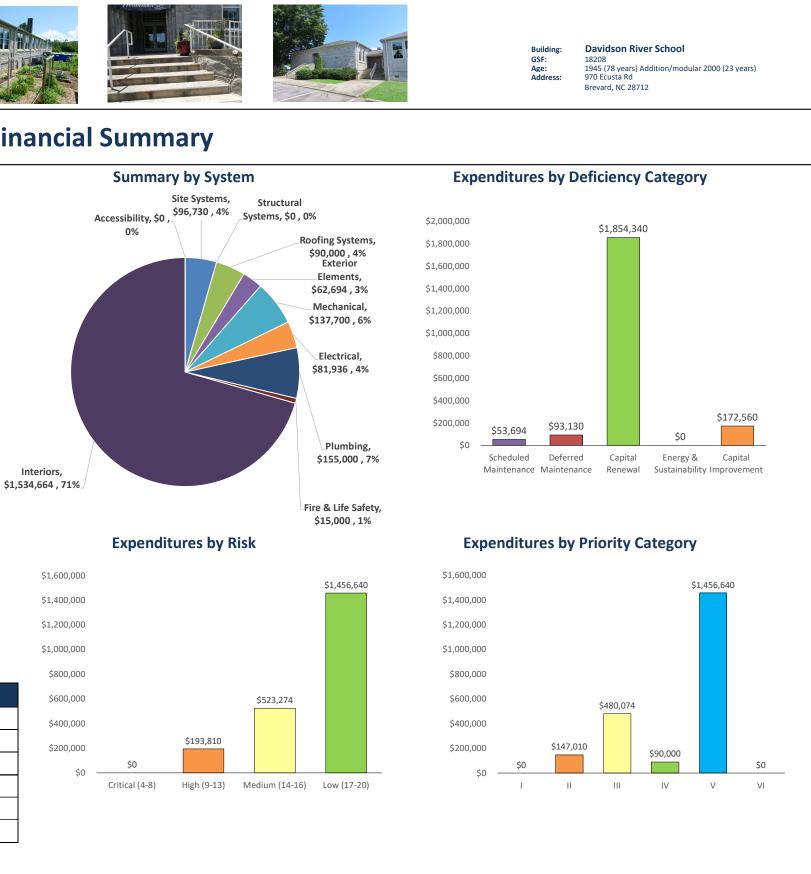
Financial Summary



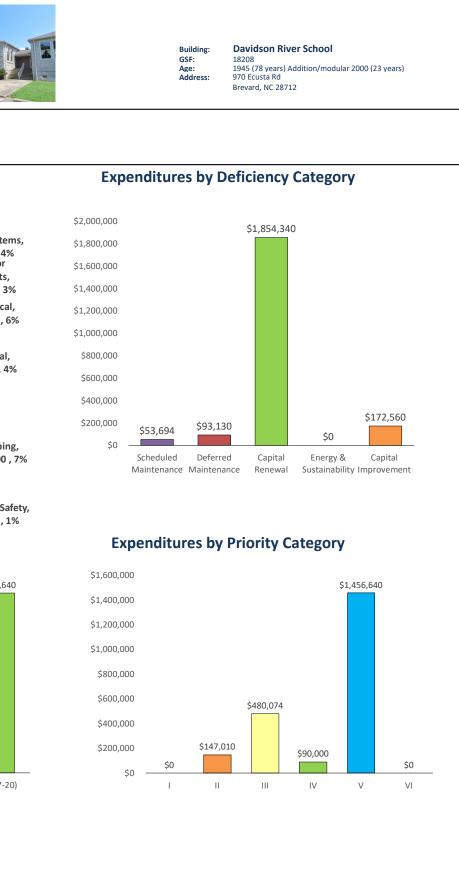
FCI Range	Condition Description
0.00 - 0.02	Excellent condition, typically new construction
0.02 - 0.05	Good Condition, renovations occur on schedule
0.05 - 0.1	Fair Condition, in need of normal renovation
0.1-0.2	Below average condition, major renovationrequired
0.2 - 0.5	Poor condition, total renovation needed
0.5-1	Complete facility replacement indicated

Risk	Definition
Critical	Critical (4-8)
High	High (9-13)
Medium	Medium (14-16)
Low	Low (17-20)
	•

Priority	Definition
I	Currently Critical
П	Potentially Critical
Ш	Necessary / Not yet Critical
IV	Recommended
V	Appearance
VI	Does Not Meet Codes / Standards









Organic growth at ashpalt shingles.



Front view of signage and low retaining wall.



Stone faced walls and double pane aluminum and vinyl windows.



Exterior view of entrance ramp with guardrail.



Architectural wood frame structure.



Corroded lintel at exterior windows.

Representative Photos



Alligator cracking of asphalt parking lot.



Stone face exterior and vinyl hung windows.



Deteriorated VCT flooring in basement floor.

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Modular unit addition with stucco exterior.



Damaged wood soffit under roof.



Split system air conditioing unit from 2013.