

REPORT OF FACILITY CONDITION ASSESSMENT



Brevard Middle School

Property Address:

400 Fisher Road
Brevard, NC 28712

Prepared For:

Transylvania County
Board of Commissioners
101 South Broad Street
Brevard, NC 28712

Prepared By:

Axias
Project No. GA23-017
February 26, 2024



Building: **Brevard Middle School**
GSF: 93860
Age: 1974 (49 years)
Address: 400 Fisher Rd
Brevard, NC 28712

Item No.	Condition	Recommendation	Priority Category	Deficiency Category	Impact of Failure	Condition	Probability of Failure	Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required
															Year	1	2	3	4	5	6	7	8	9	10	
Conveyance Systems																										
Required																										
1	The building has no conveyance systems.	N/A																								\$0

Deficiency	Definition
SM	Scheduled Maintenance
DM	Deferred Maintenance
CR	Capital Renewal
EN	Energy & Sustainability
CI	Capital Improvement

Priority	Definition
I	Currently Critical
II	Potentially Critical
III	Necessary / Not yet Critical
IV	Recommended
V	Appearance
VI	Does Not Meet Codes / Standards

Risk	Definition
Critical	Critical (4-8)
High	High (9-13)
Medium	Medium (14-16)
Low	Low (17-20)

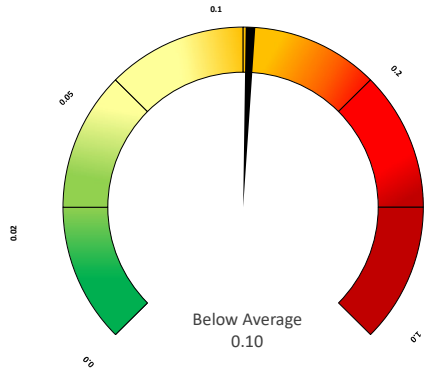
Required Cost (2023 US-Dollars)	\$2,834,010	\$884,710	\$0	\$220,000	\$7,083,888	\$24,220	\$0	\$144,382	\$0	\$450,000	\$11,641,210
Required Cost (Inflated @ 8% for 1st 3 years then 3% Per Yr.)	\$3,060,731	\$1,031,926	\$0	\$247,612	\$8,212,168	\$28,920	\$0	\$182,899	\$0	\$604,762	\$13,369,017
Total Cost (2023 \$/ SF/ Yr.)	\$30.19	\$9.43	\$0.00	\$2.34	\$75.47	\$0.26	\$0.00	\$1.54	\$0.00	\$4.79	\$124.03



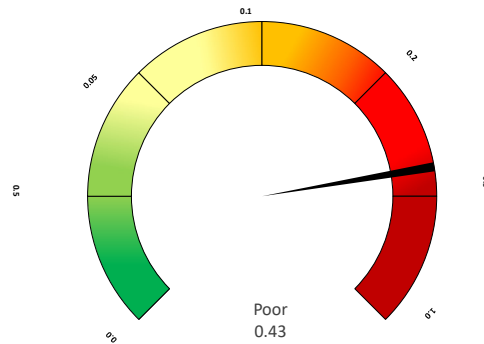
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Financial Summary

Facility Condition Index

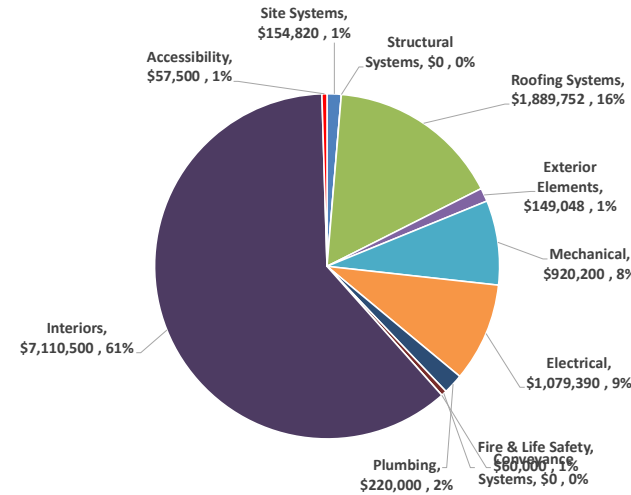


10 Year Facility Condition Index

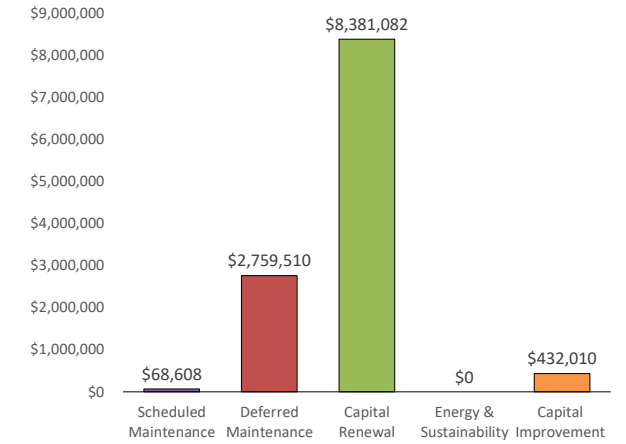


FCI Range	Condition Description
0.00 – 0.02	Excellent condition, typically new construction
0.02 – 0.05	Good Condition, renovations occur on schedule
0.05 – 0.1	Fair Condition, in need of normal renovation
0.1 – 0.2	Below average condition, major renovation required
0.2 – 0.5	Poor condition, total renovation needed
0.5 – 1	Complete facility replacement indicated

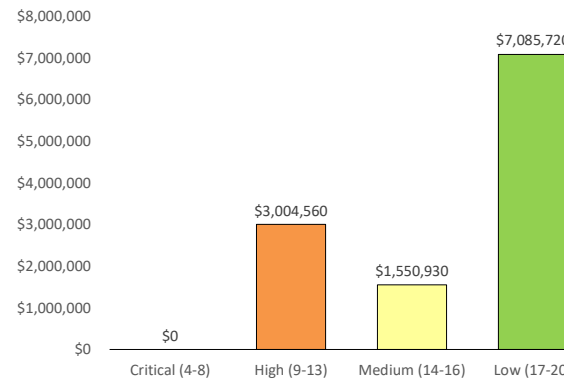
Summary by System



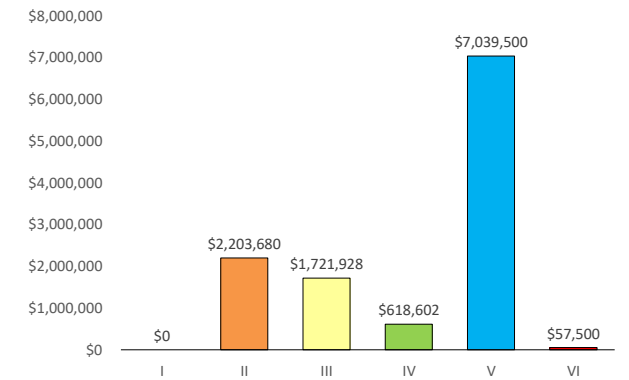
Expenditures by Deficiency Category



Expenditures by Risk



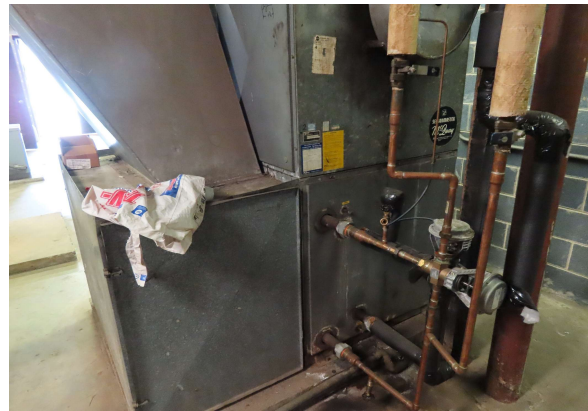
Expenditures by Priority Category



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Representative Photos



Vintage McQuay air handling unit in the boiler room.



Obsolete fire alarm control panel with noted trouble alarms.



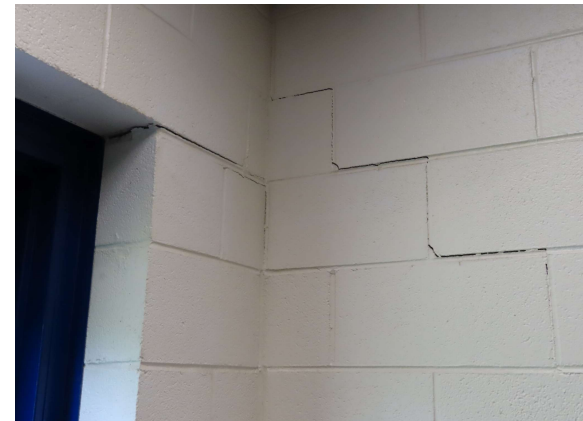
Landscaped area that holds water in heavy rain



Asphalt parking lot with minor cracking.



Deterioration of the built-up roof cap sheet.



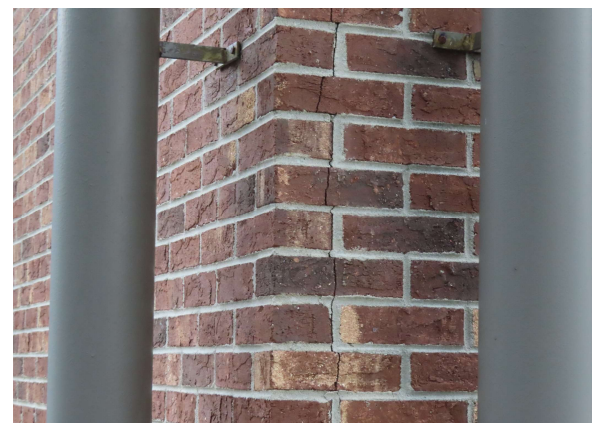
Painted CMU walls with stairstep cracking which should be monitored.



Low slope built up asphalt shingle roof



Failed seams noted at the built-up roof over the gym.



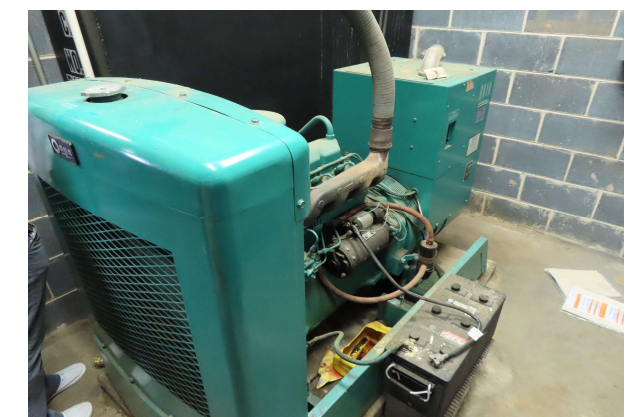
Exterior brick walls and vertical cracking



Obsolete electrical components, including main switch.



Typical air-cooled chiller.



Original emergency power generator.